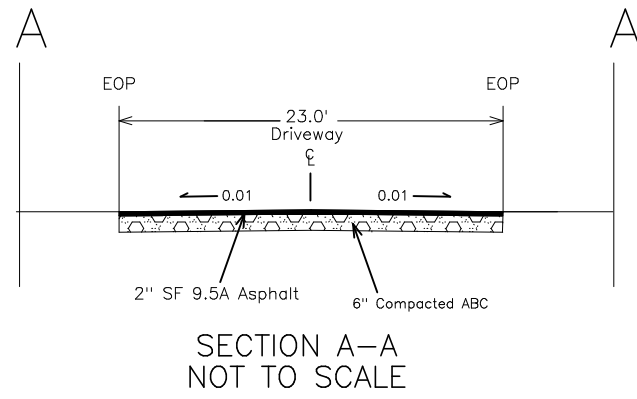


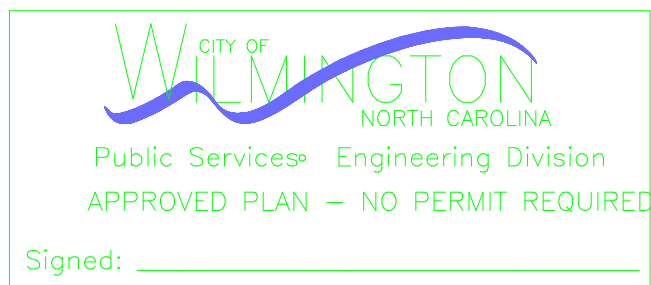
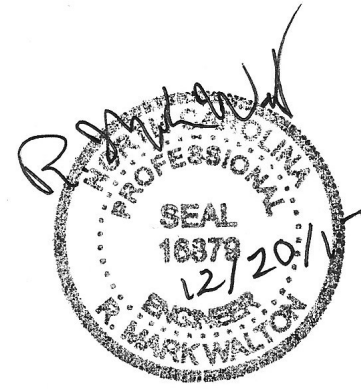
- IMPERVIOUS AREA NOTES:**
- A) Existing impervious area on site = 20,570.0 SF
 - B) Impervious Area Removed during construction = 0 SF
 - C) New Impervious Area added in construction = 1,754.3 SF
 - D) Total Proposed Impervious Area = 22,324.3 SF
 - E) Total Parcel Area = 23,562.0 SF

- DRIVEWAY NOTES:**
- Driveway Pavement: 6" ABC with 2" SF 9.5A

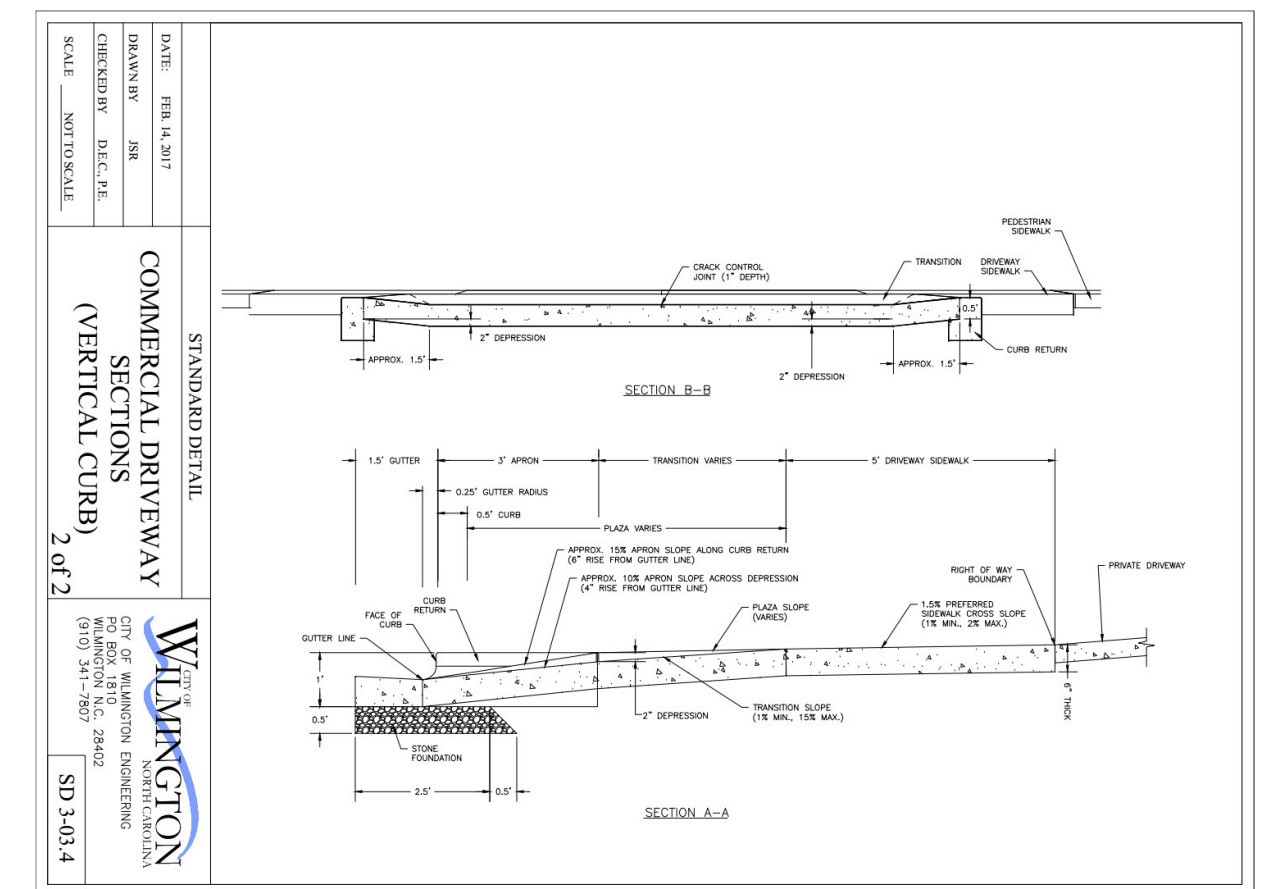
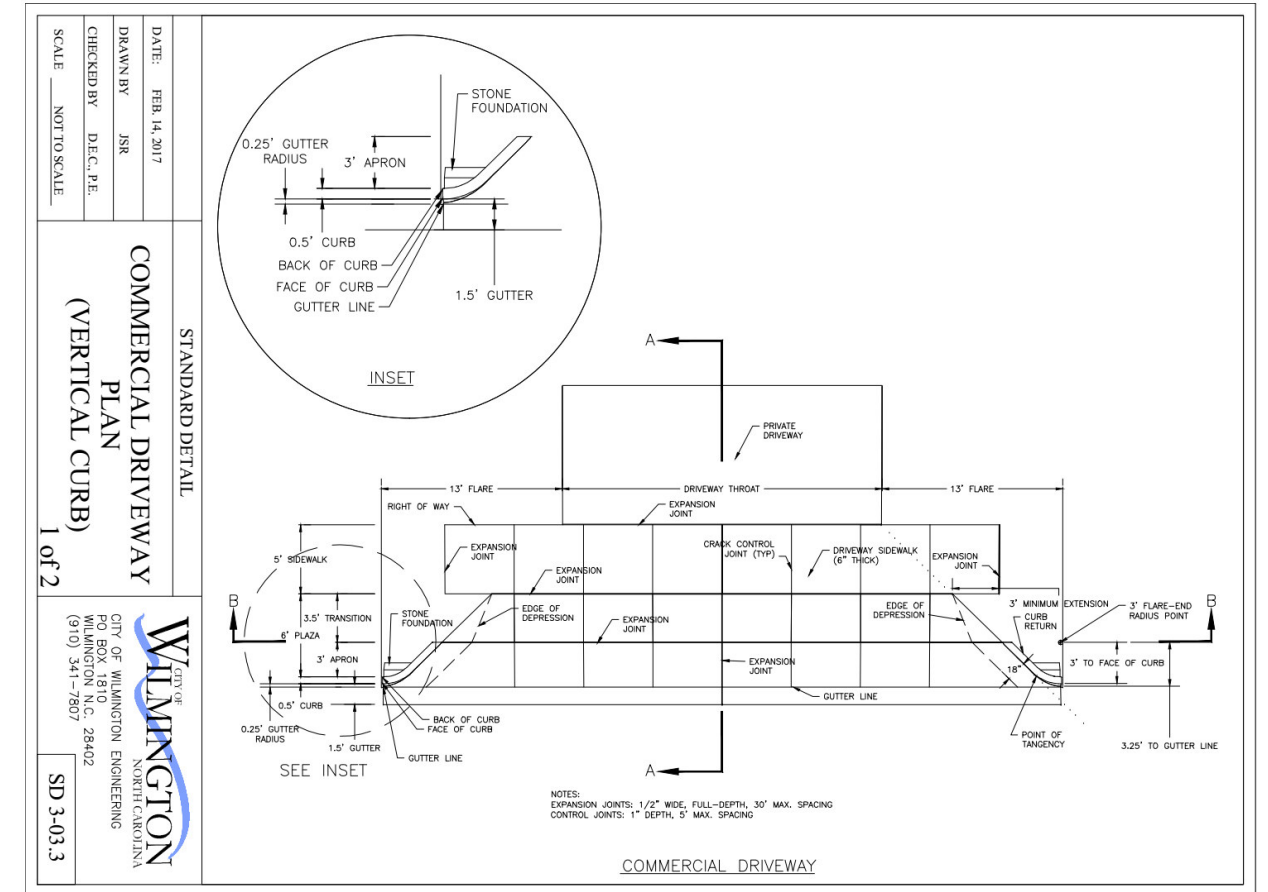
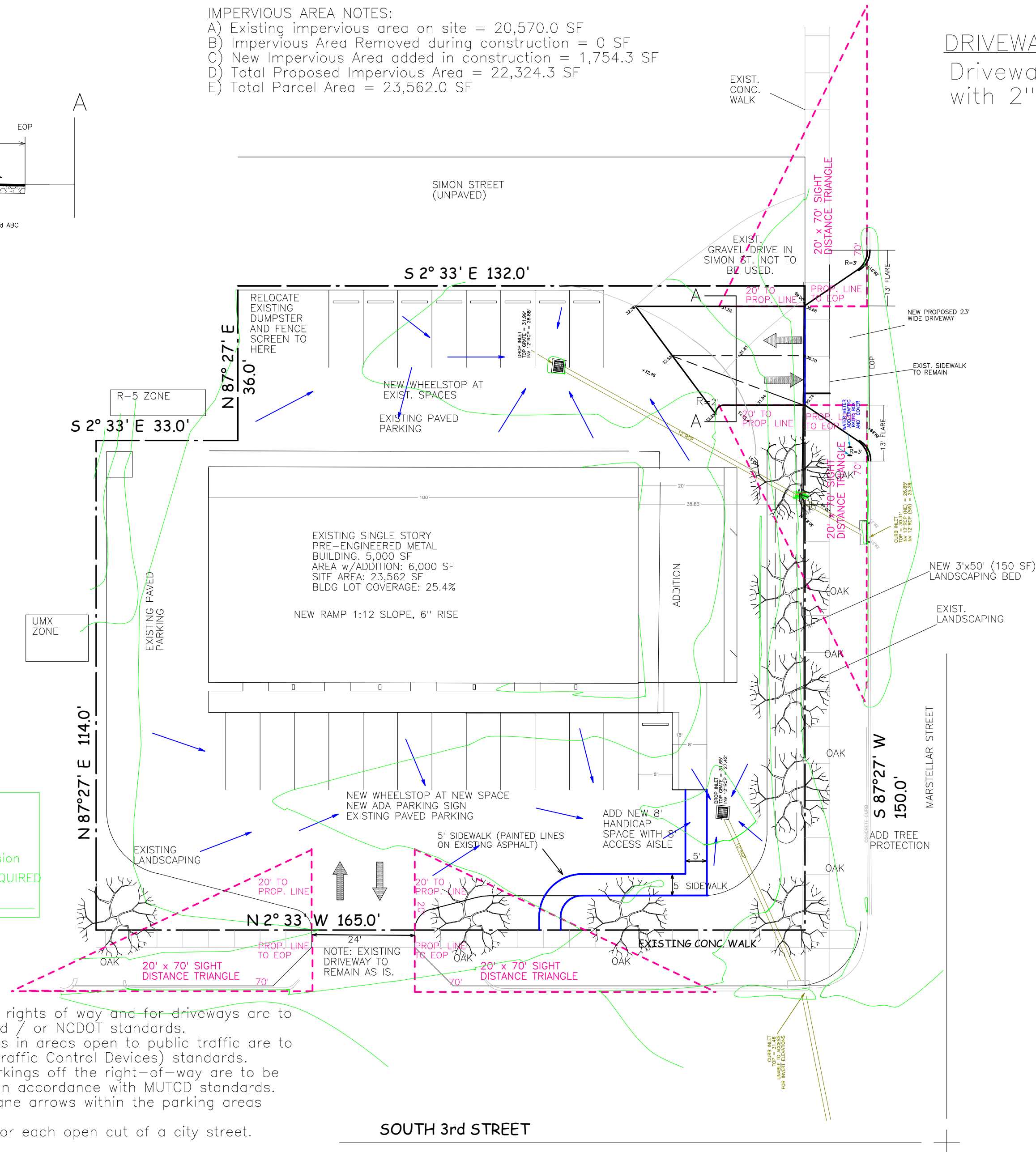
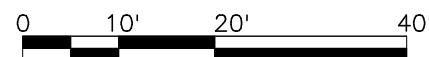


STORMWATER FLOW ARROWS

NOTE: This plan is based on a site plan by Mark Grenell Architect. By my seal below, I am certifying only the driveway plan and details.



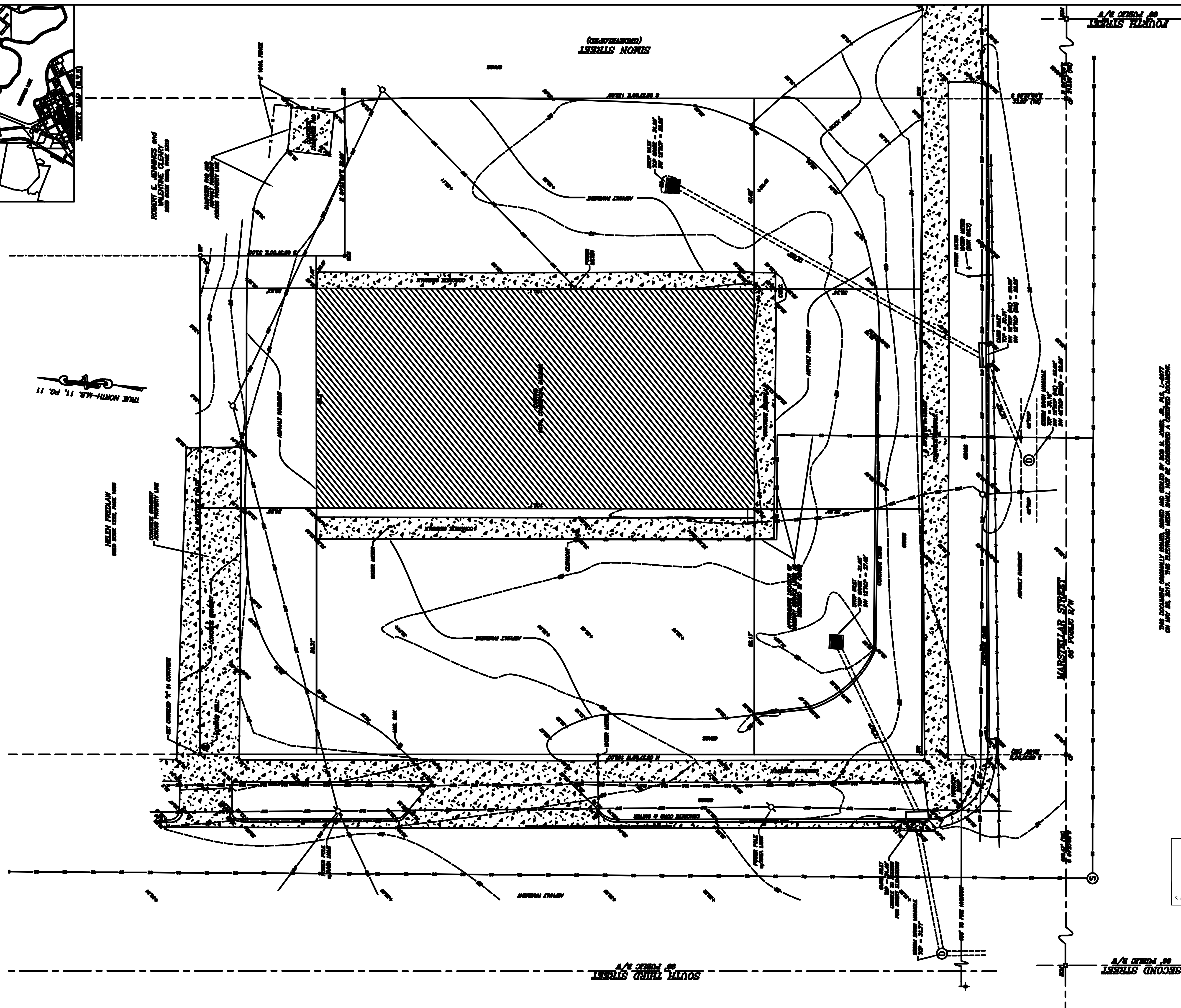
- NOTES:**
- A) All pavement markings in public rights of way and for driveways are to be thermoplastic and meet City and / or NCDOT standards.
 - B) All signs and pavement markings in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
 - C) All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
 - D) All parking stall markings and lane arrows within the parking areas shall be white.
 - E) A utility cut permit is required for each open cut of a city street. Note: Call 341-5888 for details.
 - F) Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
 - G) A landscaping plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and Parks and Recreation Dept. for review and approval prior to the recording of the final plan.
 - H) Contact Traffic Engineering at 341-7888 48hrs prior to any excavation in the right of way.



Sheet 1 of 1	Project: Moores Glass	Title: Driveway Plan	WALTON ENGINEERING PO Box 895, Burgaw, NC 28425 (910) 259-4800 Firm License# F-0968
Date: 12/20/17	Scale: 1" = 20'	Drawn by: RMW/DAT	



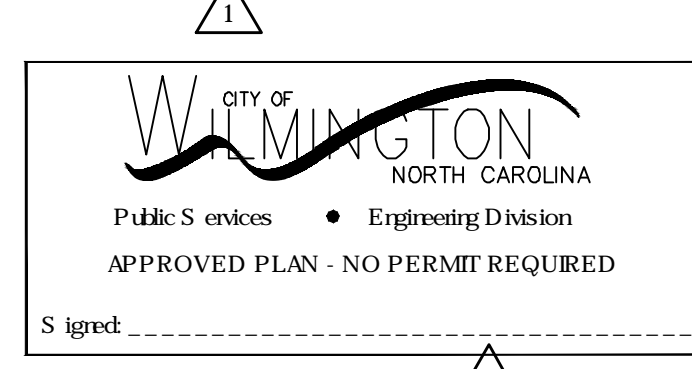
- CONTRACT REFERENCES**
 1. THE CITY OF WASHINGTON, NORTH CAROLINA, STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2017 EDITION, AS AMENDED BY SUPPLEMENTAL SPECIFICATIONS TO STANDARD SPECIFICATIONS, 2017 EDITION, MAY 2017.
 2. THE CITY OF WASHINGTON, NORTH CAROLINA, STANDARD SPECIFICATIONS FOR UTILITIES CONSTRUCTION, 2017 EDITION, AS AMENDED BY SUPPLEMENTAL SPECIFICATIONS TO STANDARD SPECIFICATIONS, 2017 EDITION, MAY 2017.
- NOTES**
1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
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 9. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO THE CENTERLINE UNLESS OTHERWISE NOTED.
- GENERAL NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND STRUCTURES IN THE AREA.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL AREAS TO ORIGINAL OR BETTER CONDITION AFTER COMPLETION OF THE PROJECT.
- LEGEND**
- | | |
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| [Symbol] | PROPOSED CENTERLINE |
| [Symbol] | EXISTING PROPERTY LINE |
| [Symbol] | PROPOSED PROPERTY LINE |
| [Symbol] | EXISTING RIGHT OF WAY LINE |
| [Symbol] | PROPOSED RIGHT OF WAY LINE |
| [Symbol] | EXISTING ASPHALT DRIVE |
| [Symbol] | PROPOSED ASPHALT DRIVE |
| [Symbol] | EXISTING CONCRETE DRIVE |
| [Symbol] | PROPOSED CONCRETE DRIVE |
| [Symbol] | EXISTING SIDEWALK |
| [Symbol] | PROPOSED SIDEWALK |
| [Symbol] | EXISTING CURB |
| [Symbol] | PROPOSED CURB |
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- EXISTING LANDMARKS**
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HELEN FREDLAW AND SUE ANN FINE

ROBERT E. EDWARDS and VALENTINE CLEARY AND SUE ANN FINE 2014

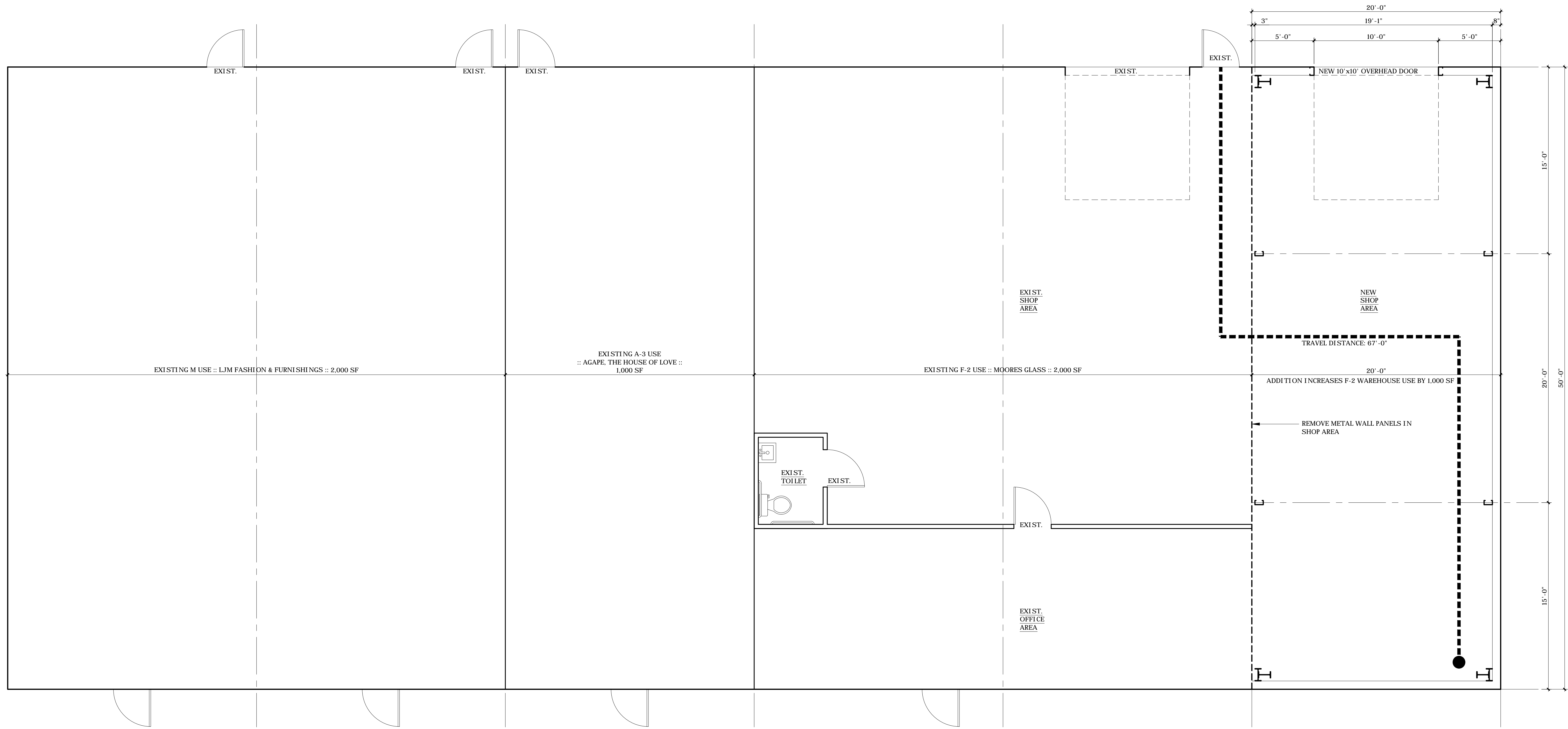
THIS DOCUMENT IS A CONTRACT DOCUMENT AND SHALL BE CONSIDERED A CONTRACT DOCUMENT ON MAY 24, 2017. THIS ELECTRONIC MEDIA SHALL NOT BE CONSIDERED A CONTRACT DOCUMENT.



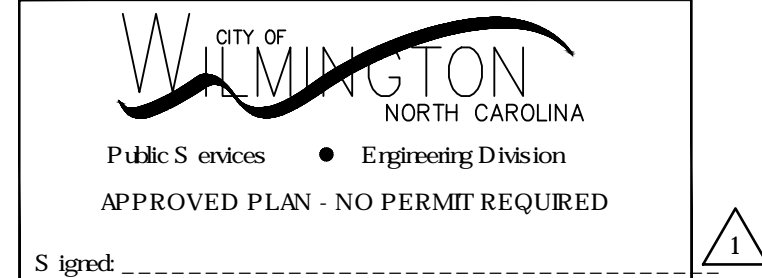
2 AUG 2017 TRC COMMENTS

MAP OF SURVEY FOR JOHN T. MOORE and wife LOIS B. MOORE OF 1115 S. THIRD STREET, WILMINGTON, NC PART OF LOTS 4, 5 & 6 - BLOCK 5 CITY OF WILMINGTON WILMINGTON TOWNSHIP - NEW HANOVER COUNTY, NORTH CAROLINA SCALE: 1" = 10'

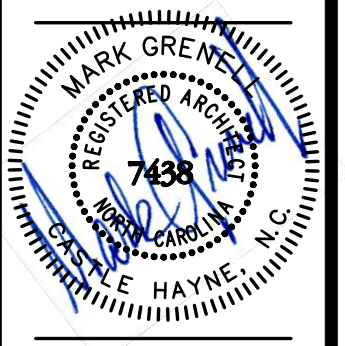
ROBERT E. EDWARDS & ASSOCIATES, PA
 1403 HARRISON STREET, SUITE 100
 WILMINGTON, NORTH CAROLINA 28401
 TEL: 704.383.1100
 FAX: 704.383.1101
 FILE NO. 170170090



1 FLOOR PLAN
1/4"=1'-0"

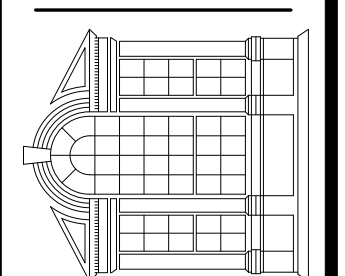


A Building Addition to
Moore's Glass Service Inc
1115 South 3rd Street
Wilmington, NC



31 May 2017

MARK GRENNELL, ARCHITECT
P O Box 393 Castle Hayne, NC 28429 Voice 910-233-1061 Fax 910-675-9761
All information and dimensions shown are subject to verification.
These drawings and ideas here depicted are for information only and do not constitute a contract.



31 May 2017

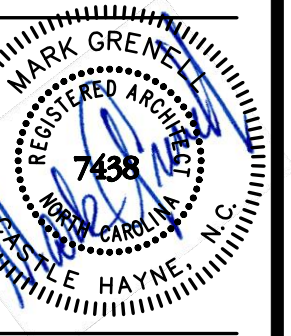
REVISIONS
no. date

1 2 AUG 2017
TRC COMMENTS

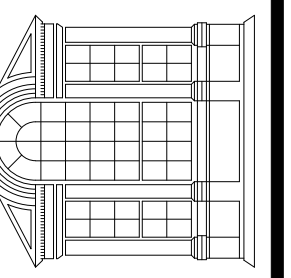
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Floor Plan
SCALE AS NOTED

ARCH
A1



31 May 2017



31 May 2017

REVISIONS
 no. date

▲ 2 AUG 2017
 TRC COMMENTS

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Elevations
 Building Section

SCALE AS NOTED

