___ (1 OR LESS)

CODE REVIEW

BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

CONSTRUCTION TYPE:

FLOOD HAZARD AREA:

STANDPIPES:

FIRE DISTRICT:

(CHECK ALL THAT APPLY)

THE ENGINEERS HAVE PLACED THE CODE DATA RELEVANT TO THEIR DISCIPLINE ON THEIR

(EXCEPT 1 AND 2-FAMILY DWE (REPRODUCE THE FOLLOWING	ILLINGS AND TOWNHOUSES) G DATA ON THE BUILDING PLANS S	HEET 1 OR 2)	RE	SPECTIVE	SHEETS.
NAME OF PROJECT: MOORES	S GLASS				
ADDRESS: 1115 SOUTH SOU	JTH 3rd STREET, WILMINGTON, NO	ZIP CODE: 2840	5		
PROPOSED USE: GLASS COM	IPANY				
OWNER: JOHN MOORE	CONTACT: MA	RK GRENELL, ARCHITECT	PHONE # (91	10) 233 - 1061 E-M	MAIL: mg.architect@outlook.com
OWNED BY: CITY/COUN	TTY PRIVATE S	STATE			
CODE ENFORCEMENT JURISI	DICTION: CITY: -	COUNTY: NEW H	HANOVER	STATE: N.C.	
ARCHITECTURAL CIVIL ELECTRICAL	DESIGNER FIRM MARK GRENELL, ARCHITECT	NAME MARK GRENELL	LICENSE # 7438	TELEPHONE # 910-233-1061	E-MAIL mg.architect@gmail.com
FIRE ALARM PLUMBING MECHANICAL SPRINKLER-STANDPIPE STRUCTURAL RETAINING WALLS > 5' HIGH OTHER	Walton Engineering	Mark Walton	16379	910-259-4800	
2012 EDITION OF NC CODE FO	OR: NEW CONSTRUCTION EXISTING: RECONST	N ADI	DITION ERATION	☐ UPFIT ☐ REPAIR	RENOVATION
CONSTRUCTED: 1997	RENOVATED: N/A				
ORIGINAL USE(S) (CH. 3): N/CURRENT USE(S) (CH. 3): N/PROPOSED USE(S) (CH. 3): BU	A				
BASIC BUILDING DATA					

BUILDING HEIGHT:	(FEET) 20'				
GROSS BUILDING	AREA:				
FLOOR:	EXISTING (SQ FT)	NEW (SQ FT)	SUB-TOTAL	RENOVATED (SQ FT)	UPFIT (SQ FT)
2nd FLOOR MEZZANINE GROUND FLOOR	5,000 SF	1,000 SF			

PARTIAL YES NFPA 13 NFPA 13R NFPA 13D

CLASS: I II III WET DRY

ALLOWABLE AREA						
OCCUPANCY:						
ASSEMBLY	☐ A-1	☐ A-2	☐ A-3	☐ A-4	☐ A-5	
BUSINESS	₽					
EDUCATIONAL						
FACTORY	☐ F-1 MOD	ERATE	F-2 LOW	I		
HAZARDOUS	☐ H-1 DET	ONATE	H-2 DEF	LAGRATE	☐ H-3 COMBUST ☐ H-4 HEALTH ☐ H-5 HPM	
INSTITUTIONAL	☐ I-1	□I-2	☐ I-3	☐ I-4		
I-3 CONDITION	l 🗌 1	_2	□ 3	4	□ 5	
MERCANTILE						
RESIDENTIAL	☐ R-1	□R-2	☐ R-3	☐ R-4		
STORAGE	S-1 MOD	ERATE	☐ S-2 LOV	/	☐ HIGH-PILED	
	☐ PARKING	G GARAGE	OPEN	☐ ENCLOS	ED REPAIR GARAGE	
UTILITY AND MISO	CELLANEOU	S 🗌	_	_	_	

ACCESSORY OCCU	PANCIES:					
ASSEMBLY	☐ A-1	☐ A-2	☐ A-3	☐ A-4	☐ A-5	
BUSINESS						
EDUCATIONAL						
FACTORY	☐ F-1 MOD	ERATE	☐ F-2 LOW	1		
HAZARDOUS	☐ H-1 DET	ONATE	☐ H-2 DEF	LAGRATE	☐ H-3 COMBUST ☐ H-4 HEALTH ☐ H-5 HPM	
INSTITUTIONAL	☐ I-1	□I-2	☐ I-3	☐ I-4		
I-3 CONDITION	l 🗌 1	□2	□ 3	4	□ 5	
MERCANTILE						
RESIDENTIAL	☐ R-1	□R-2	☐ R-3	☐ R-4		
STORAGE	☐ S-1 MOD	ERATE	☐ S-2 LO	W	☐ HIGH-PILED	
	☐ PARKING	G GARAGE	OPEN		SED □REPAIR GARAGE	
UTILITY AND MISC	CELLANEOUS	S 🗌				

INCIDENTAL USES (TABLE 508.2.5):
☐ FURNACE ROOM WHERE ANY PIECE OF EQUIPMENT IS OVER 400,000 BTU PER HOUR INPUT
$\ \square$ ROOMS WITH BOILERS WHERE THE LARGEST PIECE OF EQUIPMENT IS OVER 15 PSI AND 10 HORSEPOWER
T DEEDIGEDANT MACHINE DOOM

REFRIGERANT MACHINE ROOM HYDROGEN CUTOFF ROOMS, NOT CLASSIFIED AS GROUP H INCINERATOR ROOMS

☐ PAINT SHOPS, NOT CLASSIFIED AS GROUP H, LOCATED IN OCCUPANCIES OTHER THAN GROUP F

☐ LABORATORIES AND VOCATIONAL SHOPS, NOT CLASSIFIED AS GROUP H. LOCATED IN A GROUP E OR I-2 OCCUPANCY ☐ LAUNDRY ROOMS OVER 100 SQUARE FEET

☐ GROUP I-3 CELLS EQUIPPED WITH PADDED SURFACES GROUP I-2 WASTE AND LINEN COLLECTION ROOMS WASTE AND LINEN COLLECTION ROOMS OVER 100 SQUARE FEET

☐ STATIONARY STORAGE BATTERY SYSTEMS HAVING A LIQUID ELECTROLYTE CAPACITY OF MORE THAN 50 GALLONS, OR A LITHIUM-ION CAPACITY OF 1,000 POUNDS USED FOR FACILITY STANDBY POWER, EMERGENCY POWER OR UNINTERRUPTED POWER SUPPLIES ☐ ROOMS CONTAINING FIRE PUMPS

☐ GROUP I-2 STORAGE ROOMS OVER 100 SQUARE FEET

☐ GROUP I-2 COMMERCIAL KITCHENS ☐ GROUP I-2 LAUNDRIES EQUAL TO OR LESS THAN 100 SQUARE FEET

☐ GROUP I-2 ROOMS OR SPACES THAT CONTAIN FUEL-FIRED HEATING EQUIPMENT

<u>SPECIAL PROVISIONS:</u> □509.2 □509.3 □509.4 □509.5 □509.6 □509.7 □509.8 □509.9

 SPECIAL USES:
 402
 403
 404
 405
 406
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 414
 415
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MIXED OCCUPANCY: ☐ NO YES SEPARATION: HR. EXCEPTION: ☐ INCIDENTAL USE SEPARATION (508.2.5)

THIS SEPARATION IS NOT EXEMPT AS A NON-SEPARATED USE (SEE EXCEPTIONS).

NON-SEPARATED USE (508.3) THE REQUIRED TYPE OF CONSTRUCTION FOR THE BUILDING SHALL BE DETERMINED BY APPLYING THE HEIGHT AND AREA LIMITATIONS FOR EACH OF THE APPLICABLE OCCUPANCIES TO THE ENTIRE BUILDING. THE MOST RESTRICTIVE TYPE OF CONSTRUCTION, SO DETERMINED, SHALL APPLY TO THE ENTIRE BUILDING.

SEPARATED USE (508.4) - SEE BELOW FOR AREA CALCULATIONS FOR EACH STORY, THE AREA OF THE OCCUPANCY SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL FLOOR AREA OF EACH USE DIVIDED BY THE ALLOWABLE FLOOR AREA FOR EACH USE SHALL NOT EXCEED 1.

ACTUAL AREA OF OCCUPANCY A + ACTUAL AREA OF OCCUPANCY B ALLOWABLE AREA OF OCCUPANCY A ALLOWABLE AREA OF OCCUPANCY B

STORY	DESCRIPTION	BLDG AREA	TABLE 503 (5)	AREA FOR	AREA FOR	ALLOWABLE	MAXIMUM
NO.	AND USE	PER STORY	AREA	FRONTAGE	SPRINKLER	AREA OR	BUILDING
		(ACTUAL)		INCREASE (1)	INCREASE (2)	UNLIMITED (3)	AREA (4)
1	LJM FASHION & FURNISHING (M)	2,000 SF	9,000.0 SF	NOT USED	NOT USED	9,000.0 SF	
1	AGAPE - HOUSE OF LOVE (A-3)	1,000 SF	6,000.0 SF	NOT USED	NOT USED	6,000.0 SF	
1	MOORES GLASS (B)	530.0 SF	9,000.0 SF	NOT USED	NOT USED	9,000.0 SF	
1	MOORES GLASS (F2 WAREHOUSE)	1,470 SF	13,000.0 SF	NOT USED	NOT USED	13,000.0 SF	
SUM	MARY: THE BUILDING IS SINGLE STO					ING THE ADDITIO	N, IS
	6,000 SF. THIS EQUALS WHAT	'S PERMITTED FO	OR THE MOST RES	TRICTIVE USE (6,0	00 SF).		

MOST RESTRICTIVE USE (1) FRONTAGE AREA INCREASES FROM SECTION 506.2 ARE COMPUTED THUS:

A. PERIMETER WHICH FRONTS A PUBLIC WAY OR OPEN SPACE HAVING 20 FEET MINIMUM WIDTH = _____ B. TOTAL BUILDING PERIMETER = _____(P)

■ C. RATIO (F/P) = _____ (F/P)

D. W = MINIMUM WIDTH OF PUBLIC WAY = _____ (W) E. PERCENT OF FRONTAGE INCREASE IF = 100 [F/P - 0.25] X W/30 = _____ (%)

(2) THE SPRINKLER INCREASE PER SECTION 506.3 IS AS FOLLOWS:

A. MULTI-STORY BUILDING IS = 200 PERCENT B. SINGLE STORY BUILDING IS = 300 PERCENT

(3) UNLIMITED AREA APPLICABLE UNDER CONDITIONS OF SECTION 507.

(4) MAXIMUM BUILDING AREA = TOTAL NUMBER OF STORIES IN THE BUILDING X E (506.4).

(5) THE MAXIMUM AREA OF OPEN PARKING GARAGES MUST COMPLY WITH TABLE 406.3.5. THE MAXIMUM AREA OF AIR TRAFFIC CONTROL TOWERS MUST COMPLY WITH TABLE 412.1.2.

ALLOWABLE HEIGHT				
	ALLOWABLE	INCREASE		
	(TABLE 503)	FOR SPRINKLERS	SHOWN ON PLANS	CODE REFERENCE
TYPE OF CONSTRUCTION	TYPE: V-B	NOT USED	TYPE: V-B	
BUILDING HEIGHT IN FEET	40 FT	FEET = H + 20' =	20 FT	
BUILDING HEIGHT IN STORIES	1	STORIES + 1 =	1	

BUILDING HEIGHT IN STORIES	1		STORIES + 1 =		1		
FIRE PROTECTION REQUIREMENTS							
FIRE PROTECTION REQUIREMENTS							
BUILDING ELEMENT	FIRE	RATING		DETAIL#	DESIGN#	DESIGN # FOR	DESIGN#
	SEPARATION	REQ'D	PROVIDED	AND	FOR	RATED	FOR
	DISTANCE		(W/*	SHEET#	RATED	PENETRATION	RATED
	(FEET)		REDUCTION)		ASSEMBLY		JOINTS
STRUCTURAL FRAME,							
INCLUDING COLUMNS, GIRDERS,		0					
TRUSSES							
BEARING WALLS							
EXTERIOR	>10'	0					
INTERIOR		0					
NONBEARING WALLS AND							
PARTITIONS							
EXTERIOR WALLS	>10'	0					
INTERIOR WALLS		0					
FLOOR CONSTRUCTION							
INCLUDING SUPPORTING BEAMS		0					
AND JOISTS							
ROOF CONSTRUCTION							

	(,		REBOOTION	7 TOOLIVIDET	0011110
STRUCTURAL FRAME,					
INCLUDING COLUMNS, GIRDERS,		0			
TRUSSES					
BEARING WALLS					
EXTERIOR	>10'	0			
INTERIOR		0			
NONBEARING WALLS AND					
PARTITIONS					
EXTERIOR WALLS	>10'	0			
INTERIOR WALLS		0			
FLOOR CONSTRUCTION					
INCLUDING SUPPORTING BEAMS		0			
AND JOISTS					
ROOF CONSTRUCTION					
INCLUDING SUPPORTING		0			
BEAMS AND JOISTS					
SHAFT ENCLOSURES - EXIT		N/A			
SHAFT ENCLOSURES - OTHER		N/A			
CORRIDOR SEPARATION		N/A			
OCCUPANCY SEPARATION		N/A			
PARTY/FIRE WALL SEPARATION		N/A			
SMOKE BARRIER SEPARATION		N/A			
TENANT SEPARATION		N/A			
INCIDENTAL USE SEPARATION		N/A			
INCIDENTAL USE SEPARATION		N/A			

* INDICATE SECTION NUMBER PERMITTING REDUCTION

LIFE SAFETY SYSTEM REQUIREMENTS EMERGENCY LIGHTING: NO YES **EXIT SIGNS:** FIRE ALARM: SMOKE DETECTION SYSTEMS: NO YES PANIC HARDWARE: NO NO YES

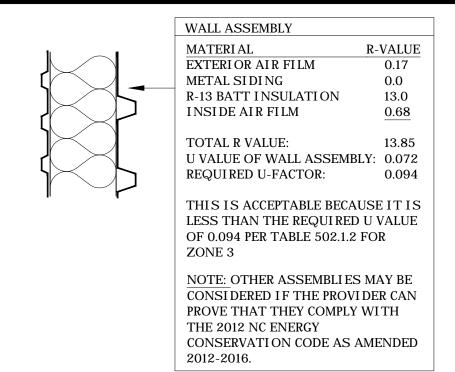
ACCESSIBLE PARKING

(SECTION 1106)

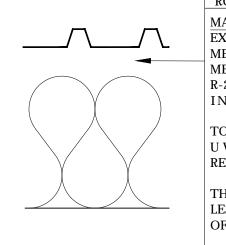
LOT OR PARKING	TOTAL # OF PARKING SPACES		# OF ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE		
AREA	REQUIRED	PROVIDED	WITH 5' ACCESS AISLE	PROVIDED		
(M)	1/400 SF= 5	5	1	1		
(A-3)	50 SEATS/4= 13	13				
(F-2)	1/1500= 2	2				
TOTAL (INCLUD	ES ACCESSIBLE SPACES)= 21		-	-		

SPECIAL INSPECTIONS REQUIRED:	☐ YES	NO
ODEOLAL ADDDOMAL		

PLUMBING	LUMBING FIXTURE REQUIREMENTS (TABLE 2902.1)											
JSE		WATERCLOSETS		ΓS	URINALS	LAVATO	ORIES		SHOWERS	MOP	DRINKING FOUNTAINS	
SPACE	MALE/FEMALE	MALE	FEMALE	UNISEX		MALE	FEMALE	UNISEX	& TUBS	SINK	REGULAR	ACCESSIBLE
F-2	5 M; 5 F	-	-	1	-	1	-	1	ı	-		
NOTE: P	ER 2902.2 EXCEPTI	ON (2) S	EPARATE :	FACILITIES	ARE NOT R	EQUIRED	FOR MALE A	AND FEMALI	E WITH A TOTA	AL OCCUP	ANT LOAD OF	25 OR LESS



PRESCRIPTIVE WALL U-FACTOR

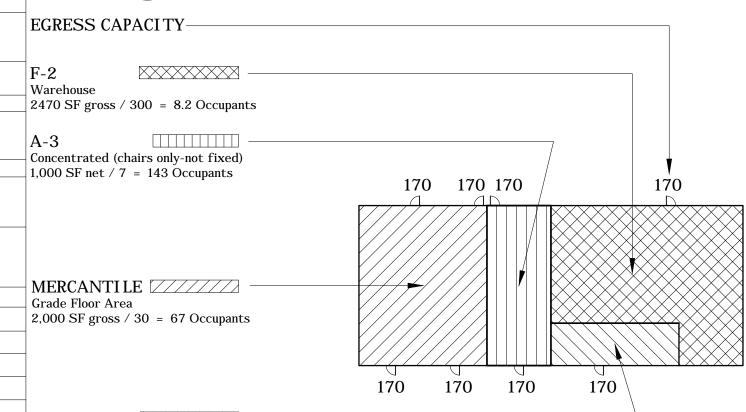


ROOFASSEMBLY MATERI AL R-VALUE EXTERIOR AIR FILM METAL ROOFING 0.00 METAL FRAMING 0.00 R-25 INSULATION 25.0 INSIDE AIR FILM 0.68TOTAL R VALUE: U VALUE OF ROOF ASSEMBLY: 0.03

REQUIRED U-VALUE: THIS IS ACCEPTABLE BECAUSE IT IS LESS THAN THE REQUIRED U VALUE OF 0.041 PER TABLE 502.1.2 FOR ZONE 3 NOTE: OTHER ASSEMBLIES MAY BE CONSIDERED IF THE PROVIDER CAN PROVE THAT THEY COMPLY WITH

THE 2012 NC ENERGY CONSERVATION CODE AS AMENDED 2012-2016.

PRESCRIPTIVE ROOF U-FACTOR



Plan Review Type: MAJOR SITE PLAN (TRC MEETING & REVIEW) (Greater than 2 acres or over 10,000 gross square

530 SF gross / 100 = 26.0 Occupants

▼ MINOR SITE PLAN REVIEW (TRC REVIEW) (Less than 2 acres or less than 10,000 gross square

Key Information: **★** A vicinity sketch or key map; [SEE SHEET A0.1] True north arrow, with north being at the top of the map; [SEE SHEET A0.1]

★ Scale of the map using engineer's scale both graphic and numeric; [SEE SHEETS A0 AND A0.1]

designer who prepared the plan;

unit if multi-unit residential)

Title Block/Site Data Tabulation: **★** Name of the development; [SEE CODE REVIEW SHEET A0 ALSO SHOWN ON A0.1] Name of the property owner; [SEE CODE REVIEW ON SHEET A0 ALSO SHOWN ON A0.1] **★** Name, address and telephone number of the [SEE CODE REVIEW ON SHEET A0]

✓ Project address; [SEE CODE REVIEW SHEET A0 ALSO SHOWN ON A0.1] PIN number or Tax Parcel Number; [R05413-019-005-000] Zoning district; [UMX] Building setbacks, required; [NONE, EXCEPT WHERE ABUTS RESIDENTIAL, THEN 5'] Building setbacks, proposed; [GREATER THAN 5' ALL SIDES] Total amount of acreage within the project [.54 ACRES]

Building size (square footage), both existing and [EXISTING: 5,000 SF; ADDITION: 1,000 SF] Calculations for building lot coverage; [6,000 SF BLDG / 23,562 SF LOT: 25.4%] Number of units; (and number of bedrooms per [3 TENANTS]

Number of buildings; [1] Building height; [SEE CODE REVIEW SHEET A.0] Number of stories and square feet per floor; [SEE CODE REVIEW SHEET A.0] Total amount and percent of impervious surface areas, before and after development; Off street parking calculations based on use; [SEE CODE REVIEW SHEET A.0] Minimum parking required; [20 SPACES]

CAMA land use classification; [URBAN] General Information: Names of property owners of adjacent properties; [SEE SHEET A0.1] Zoning and land use of adjacent properties; [SEE 1/A0] Proposed streets with cross sections, existing [SEE SHEET A0.1] and platted streets on adjoining properties and in

the proposed development with right-of-way widths; Location and size of proposed recreational areas [N/A] or open spaces; Existing easements: [NONE PER SURVEY. SEE SHEET A/0.1]

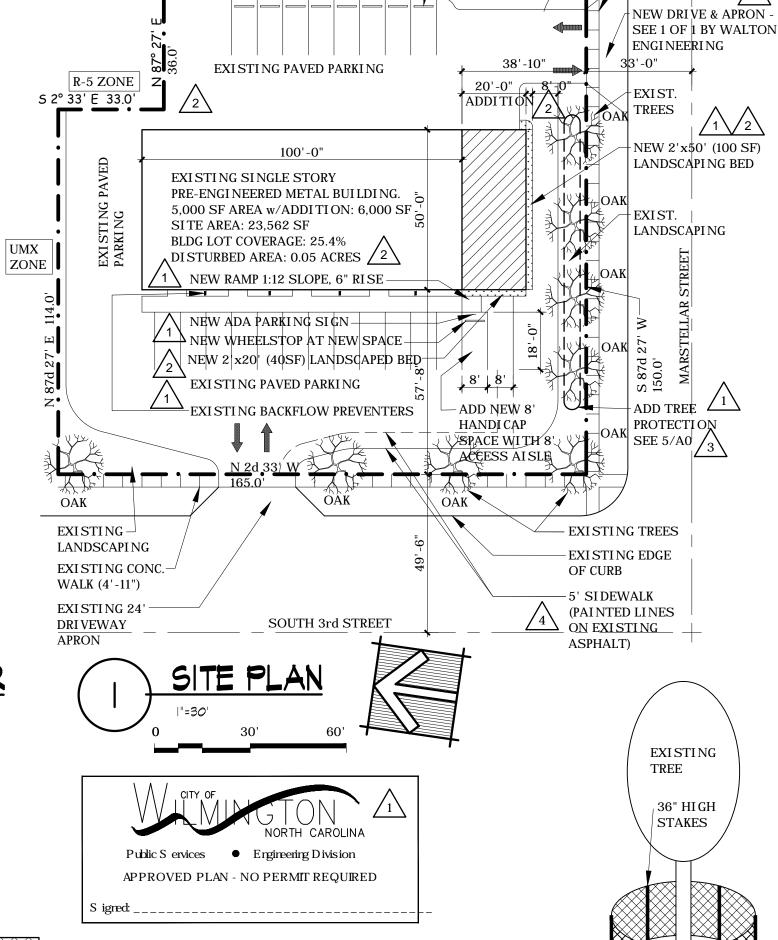
Maximum parking required; [20 SPACES]

any other zoning overlay district;

Purposes noted; Public or private; Book and page numbers;

Current accurate topographical information based [SEE SURVEY. SEE SHEET A/0.1] on mean sea level datum; I dentify if in a special highway overlay district or [N/A]

Building, Structure and Use Information Location of solid waste disposal; [TRASH SERVICE TO UTILIZE ROLLING CARTS. SEE 2 SITE PLAN 1/A0]



TRASH SERVICE TO UTILIZE ROLLING CARTS

-REMOVE PAVEMENT FOR NEW ADDITION

-ADD NEW ACCESSIBLE PARKING SIGN.

-ADD NEW ACCESSIBLE CURB RAMP.

-ADD NEW ACCESSIBLE PARKING SPACE WITH

FRONT WALL: AREA: 20x13.33' = 273.34 SF 12%=32.8 SF REQ'D, 40 SF PROVI DED.

BACKWALL: AREA: 20x13.33' = 273.34 SF 12%=32.8 SF REQ'D, 60 SF PROVI DED.

ENDWALL: AREA: 762.5 SF 12%=91.5 SF REQ'D, 100 SF PROVIDED.

PLANTS: BOXWOODS (EVERGREEN) AT 30"o/c IN A ZIG-ZAG PATTERN.

SCOPE OF SITEWORK:

ACCESS AISLE

-ADD NEW WHEELSTOP

-CONSTRUCT NEW ADDITION

FOUNDATION PLANTING: 2

R-5 ZONE

(UNPAVED)

5 2° 33' E 132.0'

NEW WHEELSTOP AT-

/1\EXIST. SPACES

Other required Information: General location, ownership and size of existing:

Water; [N/A] Sanitary Sewer; [N/A] Storm drainage lines or systems; [N/A] Fire Hydrants; [N/A] FEMA 100-year floodplain line [N/A]

Existing parcel lines for the entire tract [SEE 1/A0] General locations only, with sizes of proposed: Water lines; [SEE SHEET A0.1] Fire hydrants; [SEE SHEET A0.1] Sewer lines; [SEE SHEET A0.1] Storm drainage lines; [SEE SHEET A0.1]

Please provide the Water and Sewer Capacity needs (current and proposed zoning) with calculations in gallons per day based on state guide lines.

Water: _____ GPD (current use)
Water: ____ GPD (proposed use)
Sewer: ____ GPD (current use)
Sewer: ____ GPD (proposed use)

CHANGE] Site Inventory map as required; [SEE 1/A0] Tree Inventory, if required by the LDC, shall [N/A] indicate trees to be preserved and those proposed for removal. This information shall be combined with an overlay of the proposed site layout. The tree inventory must be certified by a registered land surveyor. See References 18-133 & 18-455.

PROTECTI VE BARRI ER.

PROVIDE 1' OF RADIUS

FOR EACH INCH OF

TRUNK DI AMETER

NO SCALE

ABANDON EXIST.

ABANDON EXIST. /

+ EXIST. CONC. $\angle 4$

DRI VEWAY

DRI VEWAY

APRON

WALK (5')

31 May 2017

国

31 May 2017

REVISIONS

1\ 2 AUG 2017

TRC COMMENTS

2\ 26 SEPT 2017

TRC COMMENTS

3\ 28 SEPT 2017

TRC COMMENTS

4\ 6 NOV 2017

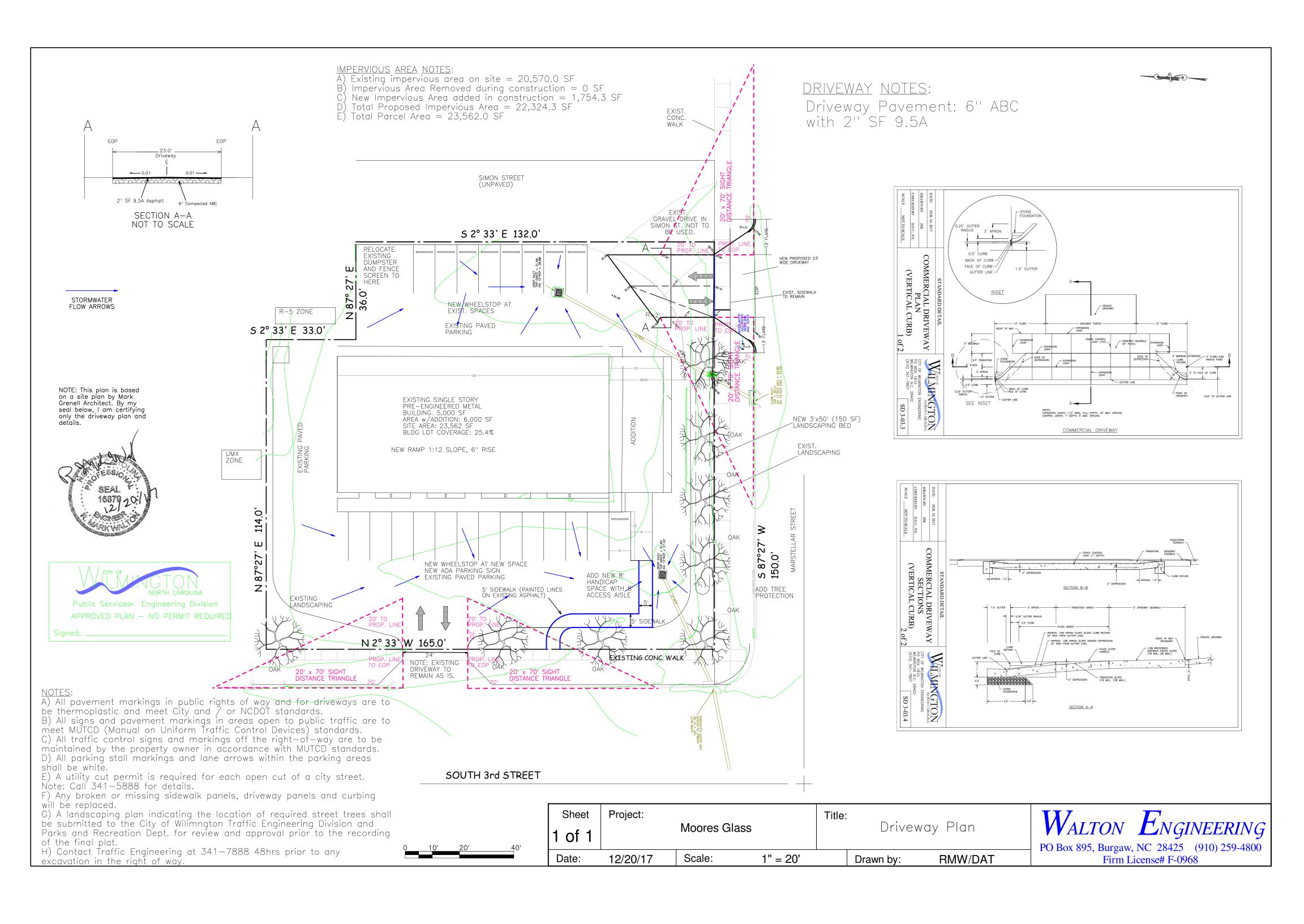
TRC COMMENTS

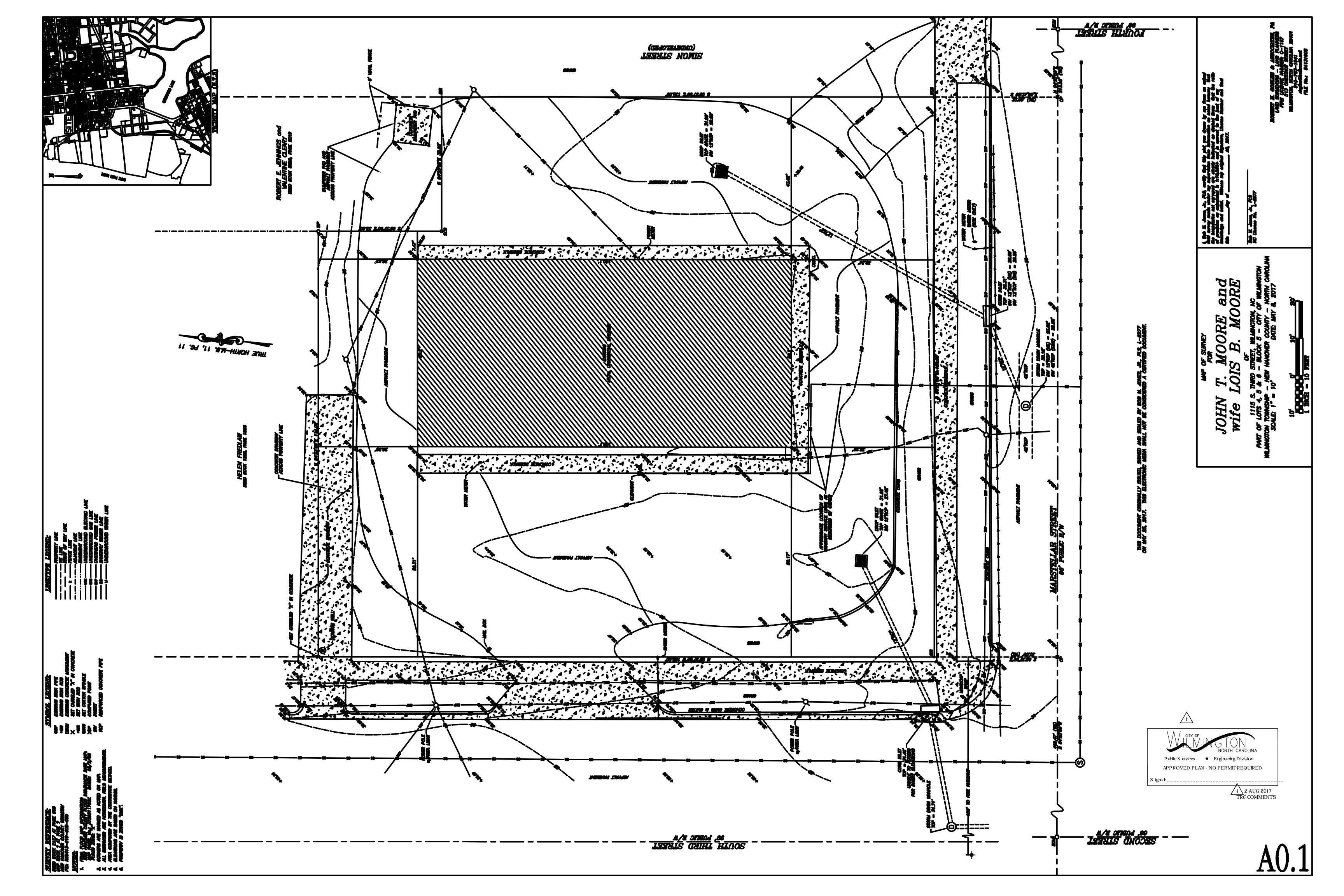
APPENDIX B

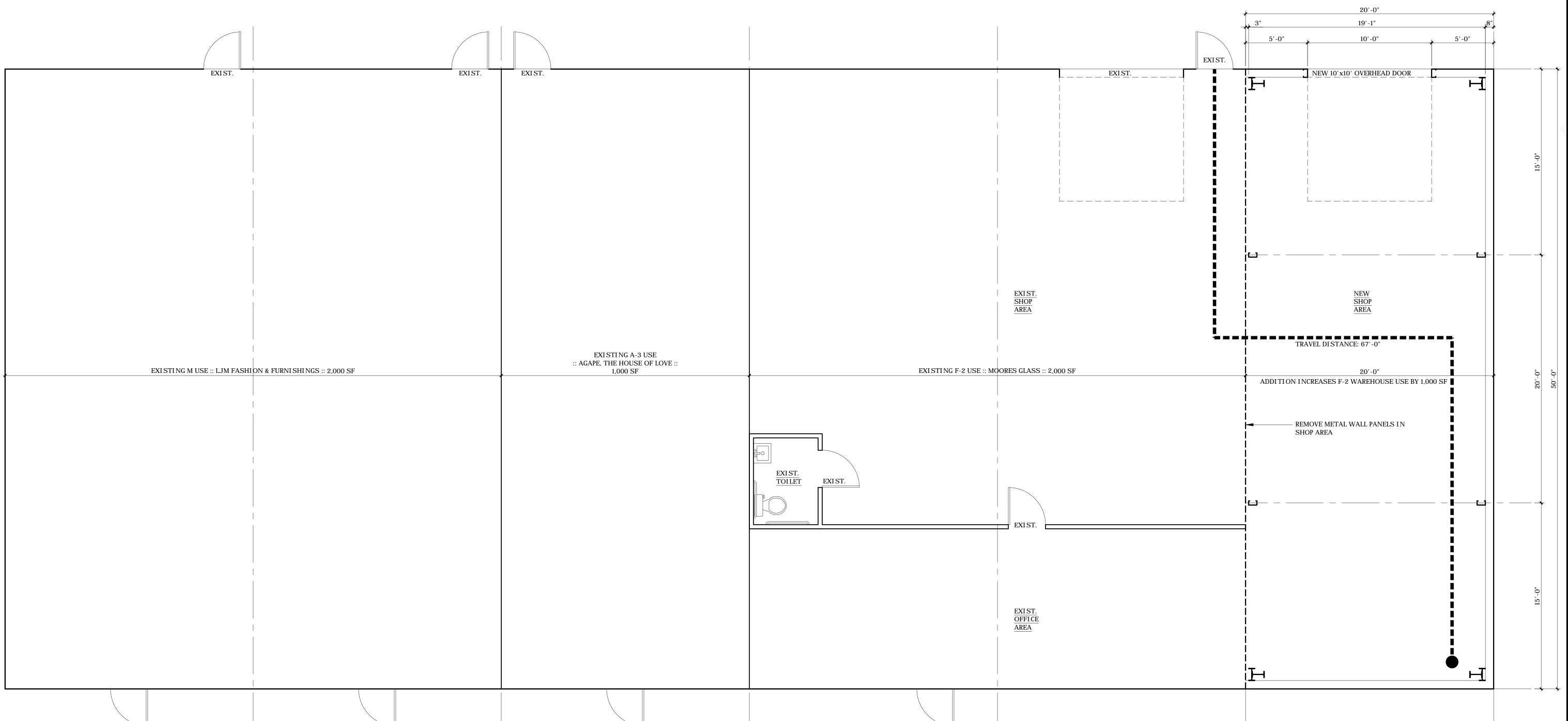
SITE PLAN

SCALE AS NOTED

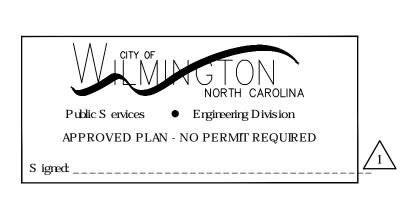
no. date











A Building Addition to

Moores Glass Service Inc

Floor Plan

SCALE AS NOTED

ARCH

31 May 2017

REVISIONS no. date

1 2 AUG 2017 TRC COMMENTS

FRONT ELEVATION

